

ADDENDUM NO. 2

26 July 2023

Harrington Public Library

Bid Package B

Page 1

**Bids are due on Thursday, August 3, 2023 @ 2:00 PM.****The last day for questions is July 27, 2023 @ 2:00 PM.**

NOTICE: Attach this addendum to the project manual for this project. It modifies and becomes a part of the contract documents. Work or materials not specifically mentioned herein are to be described in the main body of the specifications and as shown on the drawings. Bidders shall acknowledge receipt of this addendum on the space provided on the Bid Form. Failure to do so may subject the bidder to disqualification.

Whenever this Addendum modifies a portion of the Project Manual added information is shown as **Bold** and deleted information is shown as ~~striketrough~~.

The contract documents for the above referenced project, dated July 7, 2023, are amended as follows:

**GENERAL CLARIFICATIONS: N/A****QUESTIONS AND ANSWERS:**

See attached RFI log dated 25 July 2023

**MODIFICATIONS TO SPECIFICATIONS:**

1. **SECTION 006216 – INSURANCE** – Make the following pen and ink change:
  - a. Delete section 006216 – Insurance in its entirety and insert revised section 006216 annotated Addendum No. 2, dated 26 July 2023. Matrix has been included specifying which contracts are responsible for professional liability insurance and pollution insurance.
2. **SECTION 013216 – CONSTRUCTION SCHEDULE** – Make the following pen and ink change:
  - a. Delete section 013216 – Construction Schedule in its entirety and insert revised section 013216 – Construction Schedule, annotated Addendum No. 2, dated 26 July 2023. Pre-Bid construction schedule has been included with specification section.





**3. SECTION 011100 – SUMMARY OF WORK** – Make the following pen and ink change:

- a. Delete contract B-15 - Caulking from 011100 – Summary of Work and insert revised contract B-15 - Caulking, annotated Addendum No. 2, dated 26, July 2023.
- b. **Reduce allocation for use as directed by Construction Manager in Contract B-10 – Glass and Glazing from \$10,000 to \$0.**
- c. **Increase allocation for use as directed by Construction Manager in Contract B-22 – Mechanical from \$5,000 to \$30,000**

**MODIFICATIONS TO DRAWINGS:**

1. Insert Sheet L-001, annotated Addendum No. 2 dated 07/20/23 issued with Bid Package A but not included with the Bid Package B drawings.

**LIST OF ATTACHMENTS:**

Section 006216 – Insurance

Section 011100 – Summary of Work – Contract B-15 Only

Section 013216 – Construction Schedule

RFI Log

Sheet L-001 annotated Addendum No. 2 dated 07/20/23

**End of Addendum No. 2**



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SECTION 006216 – INSURANCE

In conjunction with Insurance Requirements AIA General Conditions, Article 11, the Subcontractor shall be bound by the following limits of liability insurance (for contracts under this bid pac). The Subcontractor shall use the standard "ACCORD" form titled "Certificate of Insurance" in submitting his liability insurance limits. The required limits to be inserted in the "ACCORD" form are as follows:

The Subcontractor shall purchase and maintain at all times throughout the term of this Agreement without interruption and, at the least, from the date of the commencement of the Work until the date of final payment or the date insurance coverage is required to be maintained after final payment to the Subcontractor under this Agreement, whichever is later, the following insurance coverages (with the specified limits of liability) and shall provide to the Construction Manager the complete policies for such insurance coverages upon the request of the Construction Manager:

1. Commercial General Liability ("CGL") coverage with limits of not less than \$1,000,000 each occurrence and \$2,000,000 in the "annual aggregate".
  - A. If the CGL coverage contains a "General Aggregate Limit", such General Aggregate Limit shall apply separately to each project of the Subcontractor, specifically including this Project.
  - B. CGL coverage shall be written on ISO Occurrence Form CG 00 011093, or a substitute form providing equivalent coverage and shall cover liability arising from premises, operations, independent contractors, product-completed operations and personal and advertising injury.
  - C. EDiS Company, Owner and all other parties required by EDiS Company shall be included as additional insureds on the CGL using Additional Insured Endorsements that provide coverage for both ongoing and completed operations. The insurance for the additional insureds shall be as broad as the coverage provided for the named insured Subcontractor. The CGL coverage shall apply as Primary and non-contributory insurance before any other insurance or self-insurance, including any deductible, maintained by, or provided to, any additional insured other than the other insurances coverages purchased and maintained by the Subcontractor hereunder.
  - D. Subcontractor shall maintain CGL coverage for itself and all additional insureds for the duration of the Project and maintain Completed Operations coverage for itself and each additional insured for at least three (3) years after completion of the Work, using Additional Insured Endorsements that provide Completed Operations Coverage. The endorsement must be attached to the Certificate of Insurance.

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2. Business Automobile Liability ("BAL") coverage with combined single limits of at least \$1,000,000 (per occurrence).
    - A. BAL coverage must include coverage for liability arising out of all owned, leased, hired and non-owned automobiles.
    - B. BAL coverage shall be written on an occurrence basis.
    - C. Construction Manager, Owner and all other parties required by the Construction Manager shall be included as additional insureds on the BAL coverage. The insurance for the additional insureds shall be as broad as the coverage provided for the named insured Subcontractor. The BAL coverage shall apply as Primary and non-contributory insurance before any other insurance or self-insurance, including any deductible, maintained by, or provided to, any additional insured other than the other insurances coverages purchased and maintained by the Subcontractor hereunder.
  3. Commercial Umbrella ("CU") coverage with limits of at least \$5,000,000.
    - A. CU coverage shall be written on an occurrence basis.
    - B. Construction Manager, Owner and all other parties required by the Construction Manager shall be included as additional insureds on the CU coverage for both ongoing and Completed Operations. The insurance for the additional insureds shall be as broad as the coverage provided for the named insured Subcontractor. The CU coverage shall apply as Primary and non-contributory insurance before any other insurance or self-insurance, including any deductible, maintained by, or provided to, any additional insured other than the other insurances coverages purchased and maintained by the Subcontractor hereunder.
  4. Workers' Compensation and Employer's Liability ("WCEL") coverage with limits of at least \$1,00,000 each accident for bodily injury including death and \$1,000,000 each employee for injury including death by disease.
    - A. WCEL coverage shall be written on an occurrence basis.
    - B. Where applicable and/or as required by the construction manager, the U.S. Longshoremen and Harborworkers' Compensation Act endorsement shall be included as part of the WCEL coverage and attached to the policy for WCEL coverage.

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- C. Where applicable and/or as required by the Construction Manager, the Maritime Coverage Endorsement shall be included as part of the WCEL coverage and attached to the policy for WCEL coverage.
5. The Subcontractor shall provide property insurance necessary for the protection against loss of owned, rented or borrowed capital equipment and tools, including tools owned by employees, and any tools, equipment, staging towers and forms owned, rented or borrowed by the Subcontractor. The property insurance shall include a Waiver of Subrogation in favor of all parties required to be named as Additional Insureds under the Contract Documents.
6. Subcontractor waives all rights against the Construction Manager, Owner and all their agents, officers, directors and employees for recovery of damages to the extent those damages are covered by any of the insurance coverages purchased and maintained by the Subcontractor.
7. Subcontractor shall provide the Construction Manager with appropriate certificates of insurance coverages evidencing that the insurance coverages required herein are valid and in full force and effect at least thirty (30) days before the Subcontractor performs any Work and before the Subcontractor or any of its agents, sub-subcontractors or employees enters upon the job site. Each such certificate of insurance and the actual insurance policy for each insurance coverage required herein shall contain a provision that the coverage and protection afforded under the policy will not be canceled or modified or allowed to expire without at least thirty (30) days' prior written notice to the Construction Manager.
8. Each policy of insurance coverage purchased and maintained by the Subcontractor herein shall be so purchased and maintained from or by an insurance company properly and fully authorized and licensed to do business and to issue policies of insurance in the state in which the Project is located.
9. Each policy of insurance coverage purchased and maintained by the Subcontractor herein shall provide that the insurer shall defend any suit or action against the Construction Manager and/or Owner and their agents, officers, directors and employees, even if such suit or action is frivolous or fraudulent. Such policy also shall provide the Construction Manager and Owner the right to engage their/its own attorney(s) for the purpose of defending any legal action against the Construction Manager and/or Owner and their agents, officers, directors and employees, and that the Subcontractor shall indemnify the Construction Manager or Owner for costs and expenses, including attorney's fees, arising out of or incurred in defending such suit or action.
10. The purchase, maintenance or issuance of insurance coverage of any type by the Subcontractor or the Construction Manager or Owner as required herein or otherwise, shall

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not be deemed or construed to release, limit, waive or discharge the Subcontractor from any or all of the obligations and risks imposed by the Agreement upon the Subcontractor. Neither shall any forbearance nor omission by the Construction Manager to require proof of insurance coverages or certificates of insurance or to obtain or review any policies of insurance coverage from the Subcontractor before permitting the Subcontractor to proceed or continue with the Work be deemed a waiver of the Construction Manager's rights or the Subcontractor's obligations regarding the provision of insurance coverage under this Agreement.

11. Waiver of Subrogation. Subcontractor hereby waives any and all rights of recovery against the Construction Manager, Owner, their officers, members, agents, employees, and insurance companies occurring on or arising out of Subcontractor's Work to the extent such loss or damage is covered by proceeds received from insurance required under this Agreement to be carried by the Subcontractor.
12. Subcontractor hereby certifies that it has furnished to its insurance provider(s) a copy or copies of the foregoing insurance requirements (all the applicable requirements of Section 9. hereof) ("requirements"), and Subcontractor, for and on behalf of itself and its insurance provider(s), certifies and agrees that all insurance coverages (including but not limited to the types, limits, periods of coverage, endorsements and policies applicable or in regard thereto) provided to the Construction Manager hereunder are in accordance and full compliance with the requirements, as reasonably determined and interpreted by the Construction Manager. Subcontractor, to the fullest extent permitted by applicable law, shall defend, indemnify and save harmless the Construction Manager, Owner and its successors, assigns, directors, officers, agents and employees from and against any and all damages and losses, without limitation, including attorneys' fees and costs caused by, arising out of or resulting from the Subcontractor or its insurance provider(s)' refusal or failure to provide all the insurance coverages (including but not limited to the types, limits, periods of coverage, endorsements and policies applicable or in regard thereto) required hereunder, to comply in any respect with the requirements, and/or to fully honor and abide by any of the certifications and/or agreements set forth in this section.
13. Matrix has been included as an attachment to this specification section specifying which contracts are responsible for professional liability and pollution insurance.

END OF SECTION

**Professional Liability and Pollution Insurance Requirements**

<b>Contracts</b>	<b>Professional Liability Insurance</b>	<b>Pollution Insurance</b>
A-1 Sitework		X
B-1 Landscaping		X
B-2 Concrete		X
B-3 Masonry		X
B-4 Structural Steel & Miscellaneous Metals	X	X
B-5 Exterior Structural Stud Assembly, Metal Framing, and Drywall	X	X
B-6 Carpentry and General Works		X
B-7 Roofing	X	X
B-8 Exterior & Interior Panels	X	X
B-9 Hollow Metal Doors, Frames, and Finish Hardware		
B-10 Glass and Glazing	X	X
B-11 Ceramic Tile		
B-12 Acoustical Ceilings		
B-13 Paint and VWC		
B-14 Flooring		
B-15 Caulking		X
B-16 Specialties	X	
B-17 Operable Partition		
B-18 Window Shades		
B-19 Millwork & Casework		
B-20 Fire Protection	X	
B-21 Plumbing		X
B-22 Mechanical		X
B-23 Electrical	X	X
B-24 Structured Cabling		

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CONTRACT NO. B-15 - CAULKING

A. Work included in this contract consists of, but is not necessarily limited to, all labor, materials and equipment for:

- Technical Specification sections:

Division 0	Bidding and Contract Requirements
Division 1	General Requirements
Section 042000	Unit Masonry
Section 079200	Joint Sealants

This contract also includes, but is not necessarily limited to, all labor, materials and equipment for the following:

1. Caulking of exterior masonry control joints, including where masonry abuts other materials.
2. Caulking of plumbing fixtures
3. Caulking bottom of **both** aluminum ~~door frames to vinyl flooring and hollow metal door frames~~ **to sealed and polished concrete floors.**
4. Caulking of control joints in floors to receive both sealed and polished concrete. Contractor shall coordinate with sealed and polished concrete for compatibility.
5. Protection of adjacent surfaces.
6. Clean up.
7. Include a ~~\$10,000~~ **\$5,000** allocation to be used at the direction of Construction Manager.



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SECTION 013216 - CONSTRUCTION SCHEDULE

## 1. PRE-BID CONSTRUCTION SCHEDULE

- A. Time is a critical element of this Project. By entering a bid, the Contractor agrees to adhere to the intermediate Milestone Dates and Dates of Substantial and Final Completion established herein. The Contractor also understands that all work must be performed in an orderly and closely coordinated sequence in order to achieve the specified Milestones and Completion Dates, and the Contractor hereby agrees to perform his work in conformance with the Pre-Bid Construction Schedule established herein, or with the then current and approved Project Construction Schedule as amended from time to time by the Construction Manager.
- B. The Pre-Bid Construction Schedule is a milestone schedule with durations that identify portions of the project that must be completed. This schedule includes allowances for time lost due to adverse and abnormal weather conditions, other than floods, hurricanes, tornadoes, lightening and other like acts of God. The Contractor understands and agrees that it shall not be entitled to any extensions of the Contract Time or adjustment to the Contract Sum, except as allowed in the General Conditions of the Contract for Construction. The Contractor further acknowledges that the Work may be required to be performed during the winter season, that conditions during this season may be adverse and abnormal, but that such conditions will not be the basis for an extension of the Contract Time or adjustment to the Contract Sum. By submitting a bid, each Contractor is certifying that they can complete their work within the durations, or less time, outlined in the milestone schedule and its bid includes any and all costs associated with the schedule. This includes one Contractor completing their work in conjunction with another Contractor's work (i.e. electrical conduits installed in CMU walls). Each Contractor agrees to provide sufficient labor, crew size, equipment and/or work overtime, weekends, or shiftwork as necessary to meet the activity durations on this schedule and subsequently the latest coordinated Project Construction Schedule.

## 2. SCHEDULING OF THE WORK AFTER AWARD OF CONTRACT

- A. After award of Contract, or issuance of a Notice to Proceed, the Contractor will meet with the Construction Manager to review the Pre-Bid Construction Schedule, and the overall project plan for construction. Following the above review, the Contractor will meet with each subcontractor and supplier to view the detailed plans for performing his Work. Following these meetings and within fourteen (14) days after award of the Contract or issuance of a Notice to Proceed, the Contractor shall prepare and submit for the Construction Manager's approval a Work Schedule providing for the expeditious, timely and practical execution of the Work. The Contractor's Work Schedule shall include activity descriptions and durations for shop drawings, fabrication, delivery, and installation. The Contractor's Work Schedule shall be organized by Area, Building, Phase, and/or Floor as required by the Construction Manager. If the Construction Manager so requests, the Contractor shall provide adequate explanation regarding crew sizes, production rates and similar data used to arrive at the durations and sequences. If the Contractor fails to provide a work schedule for their activities then they will be held to the Project Construction Schedule developed and updated by the Construction Manager.

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- B. The Construction Manager shall review the Contractor's Work Schedule, coordinate it with the separate work by other contractors, the Owner, and the Construction Manager, and after coordination, shall incorporate it into the approved Project Construction Schedule.
- C. After all Contractors submit their Work Schedules and the schedules have been incorporated into the overall Project Construction Schedule a Schedule Charrette will be held by the Construction Manager. Each Contractor is required to participate in the Schedule Charrette in order to produce a coordinated Project Construction Schedule. The Construction Manager will have the final authority concerning the sequence of work, priorities or work, and activity durations. The approved coordinated Project Construction Schedule shall be issued to the Contractors and each Contractor shall perform their Work in conformity therewith.
- C. The Contractor shall submit proposed schedule revisions and obtain the written approval of the Construction Manager therefore before deviating from the Project Construction Schedule.
- D. The Construction Manager will incorporate approved schedule revisions into the Project Construction Schedule and shall otherwise update and revise the Project Construction Schedule as the Construction Manager, at his sole discretion, deems necessary. Each Contractor acknowledges that Construction Manager may modify, change, or alter the sequence, duration, start dates, completion dates to maintain the progress of the work. Contractor agrees to perform the work in accordance with the revised schedules and that modification of the schedule or sequence of the work by the Construction Manager shall not be the basis of any claim by the Contractor for damages or costs.
- E. Weather Delays: The project substantial completion date, shall only be adjusted due to extreme weather conditions that are above and beyond the following "Adverse Weather Days" already accounted for in the Pre-Bid Construction Schedule. These adverse weather days are based on a seven day week and come from the DelDOT Standards:
- a. January (12), February (10), March (5), April (5), May (4), June (2), July (4), August (3), September (4), October (3), November (2), and December (6).
  - b. Time extension due to weather must be related to critical path activities.
  - c. Delays due to weather must be reported by the Contractor on the day they occur on the Contractor's daily report.
  - d. Any time lost during the work week must be made up the same week by overtime and/or working weekends. The Owner will not be responsible for additional costs for overtime.

### 3. ADHERENCE TO THE SCHEDULE

- A. The Contractor shall start each part of its Work on the date designated for start in the approved Project Construction Schedule unless advised by the Construction Manager. The Contractor shall carry the Work forward expeditiously with adequate forces, equipment, and materials, and shall complete each part of his work on or before the date designated in the approved Project Construction Schedule.

- B. If the Construction Manager determines that the Contractor is behind schedule, the Construction Manager shall have the right to require that the Contractor take steps, at the Contractor's expense, to accelerate its Work. Such steps shall include increases in manpower, equipment, and materials and/or overtime as the Construction Manager may deem necessary. If any work is not started or completed within five (5) calendar days of the schedule date in the latest Project Construction Schedule, the Construction Manager shall have the right to direct the Contractor to expedite their work by whatever means the Construction Manager deems necessary to regain the schedule, without additional compensation to the Contractor. If any work falls behind schedule more than ten (10) days, the Construction Manager shall have the right to perform the work or have the work performed by whatever means the Construction Manager deems necessary. The costs incurred by the Construction Manager in order to "maintain the Project Construction Schedule" shall be reimbursed by the Contractor or Contractors causing the delay. If the Contractor fails to comply with the Construction Manager's instructions relating to improved rate of progress, the Contractor may be held in default under the appropriate provisions of the General Conditions of the Contract.
- C. Each Contractor shall, if directed by the Construction Manager, provide the Construction Manager a two-week look ahead of anticipated manpower showing the number of men, classification, and anticipated work.
- D. Each Contractor must schedule their manpower to work on all available work at a given time. Contractors must not assume that they have an entire work area available at one time or exclusive to their work. Working simultaneously in and around other trades is required. Therefore, if an area of the building is ready for the Contractor's work to begin or continue the Contractor must have manpower onsite working.
- E. If a Contractor misses any portion of a workday due to weather, manpower, lack of materials, failure to plan, or scheduling conflicts, they must make-up this lost time on overtime or Saturday. If two or more days are lost in the same work week, the Contractor must work overtime, the immediate Saturday and the Saturdays following the week to make up the lost days. Failure to provide sufficient manpower during the normal week days may result in charges for supervision by EDiS Company, at the discretion of EDiS Company.
- F. All punchlist work and project closeout documentation shall be completed within twenty-one (21) calendar days of the Substantial Completion date. Any open punchlist items after this date will be completed by EDiS Company and back charged to the responsible Contractor.

END OF SECTION



# HARRINGTON PUBLIC LIBRARY BIDDING SCHEDULE

ID	Task Name	Duration	Start	Finish	Half 1, 2023	Half 2, 2023				Half 1, 2024			Half 2, 2024	
					M	M	J	S	N	J	M	M	J	S
1	<b>HARRINGTON PUBLIC LIBRARY</b>	<b>559 days</b>	<b>Fri 7/15/22</b>	<b>Wed 9/4/24</b>	<b>HARRINGTON PUBLIC LIBRARY</b>									
2	<b>HARRINGTON PUBLIC LIBRARY - PRECONSTRUCTION &amp; DESIGN ACTIVITIES</b>	<b>285 days</b>	<b>Fri 7/15/22</b>	<b>Thu 8/17/23</b>										
100	<b>HARRINGTON PUBLIC LIBRARY - CONSTRUCTION ACTIVITIES</b>	<b>321 days</b>	<b>Wed 6/14/23</b>	<b>Wed 9/4/24</b>	<b>HARRINGTON PUBLIC LIBRARY - CONSTRUCTION ACTIVITIES</b>									
101	Groundbreaking Ceremony	0 days	Wed 6/14/23	Wed 6/14/23										
102	EDiS Mobilization & Trailer Setup	10 days	Mon 7/24/23	Fri 8/4/23										
103	Critical Submittals and Procurement of Materials	30 days	Tue 9/5/23	Mon 10/16/23										
104	PRELIMINARY SITEWORK	37 days	Mon 9/11/23	Wed 11/1/23										
105	Contractors Mobilize	0 days	Mon 9/11/23	Mon 9/11/23										
106	Install SECP Measures & Construction Entrance	7 days	Tue 9/12/23	Wed 9/20/23										
107	Install Site Utilities (Storm, Sanitary, Water, Roof Leaders)	15 days	Thu 9/21/23	Wed 10/11/23										
108	Prepare Building Pad & Lay Down Area	10 days	Thu 10/12/23	Wed 10/25/23										
109	Install Parking Lot Sub-Grade	5 days	Thu 10/26/23	Wed 11/1/23										
110	<b>BUILDING FOUNDATIONS, UG UTILITIES &amp; SLAB-ON-GRADE</b>	<b>25 days</b>	<b>Thu 10/26/23</b>	<b>Wed 11/29/23</b>										
111	Install Building Concrete Foundations	10 days	Thu 10/26/23	Wed 11/8/23										
112	Install Building Masonry Foundations & Dampproofing	5 days	Thu 11/9/23	Wed 11/15/23										
113	Install Building UG Utilities	10 days	Thu 11/9/23	Wed 11/22/23										
114	Place Stone & Slab-On-Grade	5 days	Thu 11/23/23	Wed 11/29/23										
115	<b>BUILDING STRUCTURE &amp; ENVELOPE</b>	<b>55 days</b>	<b>Thu 11/30/23</b>	<b>Wed 2/14/24</b>										
116	Install Structural Steel	15 days	Thu 11/30/23	Wed 12/20/23										
117	Install Perimeter Cold Formed Metal Framing, Sheathing, & Waterproofing	15 days	Thu 12/21/23	Wed 1/10/24										
118	Install Exterior Brick	10 days	Thu 12/28/23	Wed 1/10/24										
119	Install Roofing	15 days	Thu 1/4/24	Wed 1/24/24										
120	Install Exterior Panels	15 days	Thu 1/4/24	Wed 1/24/24										
121	Install Exterior Storefront & Curtainwall & Glazing	15 days	Thu 1/25/24	Wed 2/14/24										

Harrington Public Library  
Bidding Schedule BPB  
Date: 24 July 2023

Task  
Split



Milestone  
Summary



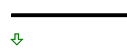
Project Summary  
Manual Summary



Start-only  
Finish-only



Progress  
Deadline





# HARRINGTON PUBLIC LIBRARY BIDDING SCHEDULE

ID	Task Name	Duration	Start	Finish	Half 1, 2023			Half 2, 2023			Half 1, 2024			Half 2, 2024		
					M	M		J	S	N	J	M	M	J	S	
122	INTERIOR FRAMING AND MEP ROUGHINS	55 days	Thu 2/1/24	Wed 4/17/24							INTERIOR FRAMING AND MEP ROUGHINS					
123	Install Interior Metal Framing	10 days	Thu 2/1/24	Wed 2/14/24												
124	Install MEP Rough-Ins	30 days	Thu 2/15/24	Wed 3/27/24												
125	Install & Finish Drywall	20 days	Thu 3/21/24	Wed 4/17/24												
141	FINISH SITEWORK & LANDSCAPING	94 days	Thu 2/15/24	Tue 6/25/24							FINISH SITEWORK & LANDSCAPING					
143	Site Lighting Rough-In	8 days	Thu 2/15/24	Mon 2/26/24												
144	Rough Grade Around Building	2 days	Thu 2/15/24	Fri 2/16/24												
155	Install Children's and Adult Exterior Gravel Area	1 day	Mon 2/19/24	Mon 2/19/24												
156	Install Fencing	2 days	Tue 2/20/24	Wed 2/21/24												
145	Install Curb	3 days	Tue 2/27/24	Thu 2/29/24												
146	Install Curb (ALTERNATE)	1 day	Fri 3/1/24	Fri 3/1/24												
147	Install Sidewalks & Pads	6 days	Mon 3/4/24	Mon 3/11/24												
148	Brick Pavers & Flag Pole (ALTERNATE)	5 days	Tue 3/12/24	Mon 3/18/24												
149	Prepare Stone Base for Paving	1 day	Tue 3/19/24	Tue 3/19/24												
150	Install Base Paving	1 day	Wed 3/20/24	Wed 3/20/24												
151	Install Base Paving (ALTERNATE)	1 day	Wed 3/20/24	Wed 3/20/24												
152	Final Grade Around Building & Spread Topsoil	1 day	Thu 3/21/24	Thu 3/21/24												
157	Final Site Lighting	5 days	Thu 3/21/24	Wed 3/27/24												
153	Install Seed and Straw/Mulch	1 day	Fri 3/22/24	Fri 3/22/24												
142	DELDOT Little Mastens Road Improvement	20 days	Mon 3/18/24	Fri 4/12/24												
154	Landscaping	5 days	Mon 3/25/24	Fri 3/29/24												
158	Install Final Paving	1 day	Thu 6/20/24	Thu 6/20/24												
159	Install Final Paving (ALTERNATE)	1 day	Fri 6/21/24	Fri 6/21/24												
160	Install Striping, Signage, Parking Bumpers	2 days	Mon 6/24/24	Tue 6/25/24												
126	INTERIOR FINISHES	65 days	Thu 4/18/24	Wed 7/17/24							INTERIOR FINISHES					
127	Install Interior Brick	3 days	Thu 4/18/24	Mon 4/22/24												

Harrington Public Library  
Bidding Schedule BPB  
Date: 24 July 2023

Task  
Split



Milestone  
Summary



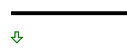
Project Summary  
Manual Summary



Start-only  
Finish-only



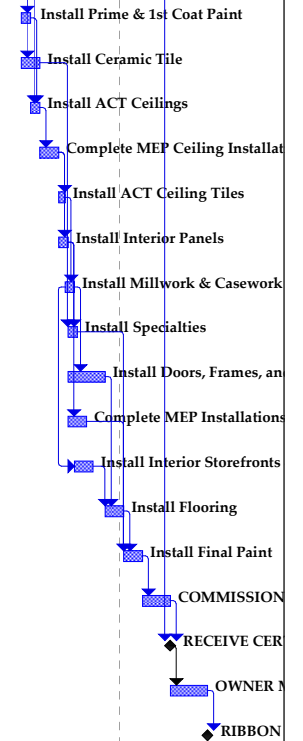
Progress  
Deadline

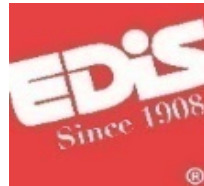




# HARRINGTON PUBLIC LIBRARY BIDDING SCHEDULE

ID	Task Name	Duration	Start	Finish	Half 1, 2023		Half 2, 2023			Half 1, 2024			Half 2, 2024	
					M	M	J	S	N	J	M	M	J	S
128	Install Prime & 1st Coat Paint	5 days	Thu 4/18/24	Wed 4/24/24										
134	Install Ceramic Tile	10 days	Thu 4/18/24	Wed 5/1/24										
129	Install ACT Ceilings	5 days	Thu 4/25/24	Wed 5/1/24										
130	Complete MEP Ceiling Installations	10 days	Thu 5/2/24	Wed 5/15/24										
131	Install ACT Ceiling Tiles	3 days	Thu 5/16/24	Mon 5/20/24										
133	Install Interior Panels	5 days	Thu 5/16/24	Wed 5/22/24										
132	Install Millwork & Casework	5 days	Tue 5/21/24	Mon 5/27/24										
136	Install Specialties	5 days	Thu 5/23/24	Wed 5/29/24										
137	Install Doors, Frames, and Hardware	20 days	Thu 5/23/24	Wed 6/19/24										
140	Complete MEP Installations	10 days	Thu 5/23/24	Wed 6/5/24										
138	Install Interior Storefronts & Glazing	10 days	Tue 5/28/24	Mon 6/10/24										
135	Install Flooring	10 days	Thu 6/20/24	Wed 7/3/24										
139	Install Final Paint	10 days	Thu 7/4/24	Wed 7/17/24										
161	COMMISSIONING & PUNCHLIST	15 days	Thu 7/18/24	Wed 8/7/24										
162	RECEIVE CERTIFICATE OF OCCUPANCY	0 days	Wed 8/7/24	Wed 8/7/24										
163	OWNER MOVE-IN AND SETUP OF FF&E	20 days	Thu 8/8/24	Wed 9/4/24										
164	RIBBON CUTTING & DEDICATION CEREMONY	0 days	Wed 9/4/24	Wed 9/4/24										
81	HARRINGTON PUBLIC LIBRARY - BIDDING & AWARD ACTIVITIES	52 days	Fri 6/23/23	Mon 9/4/23	HARRINGTON PUBLIC LIBRARY - BIDDING & AWARD ACTIVITIES									





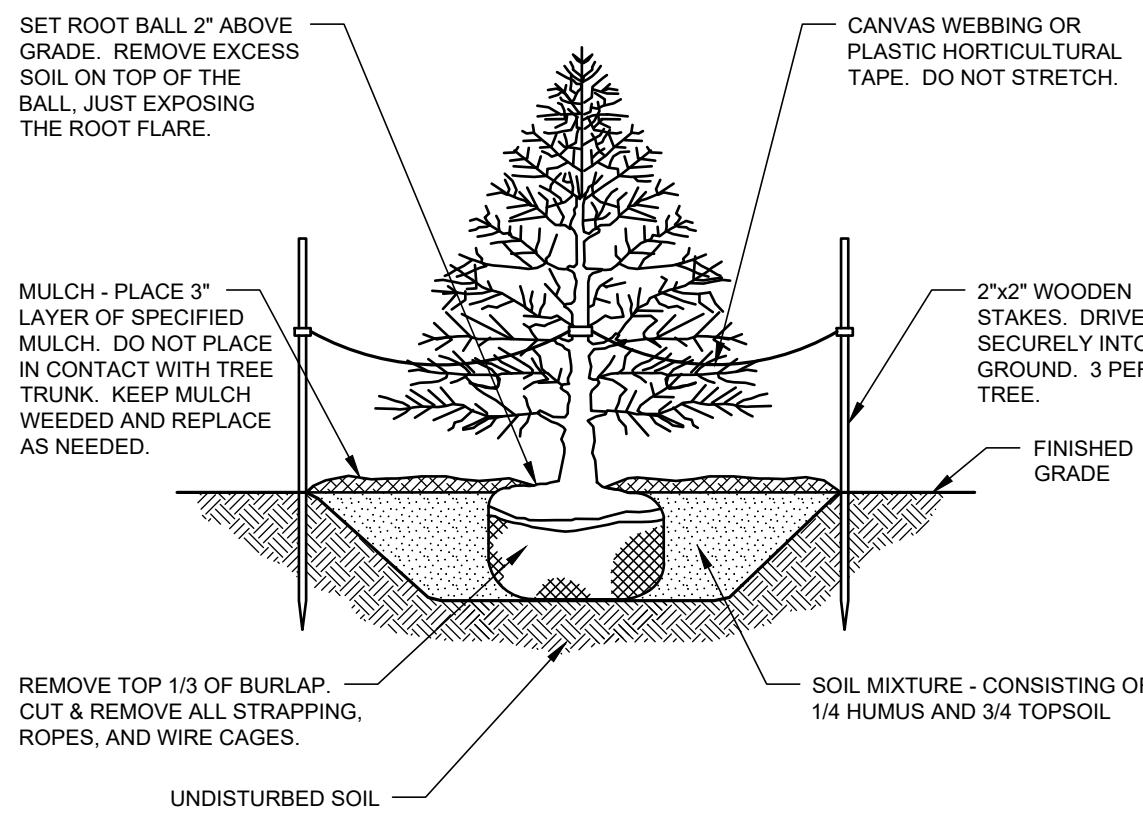
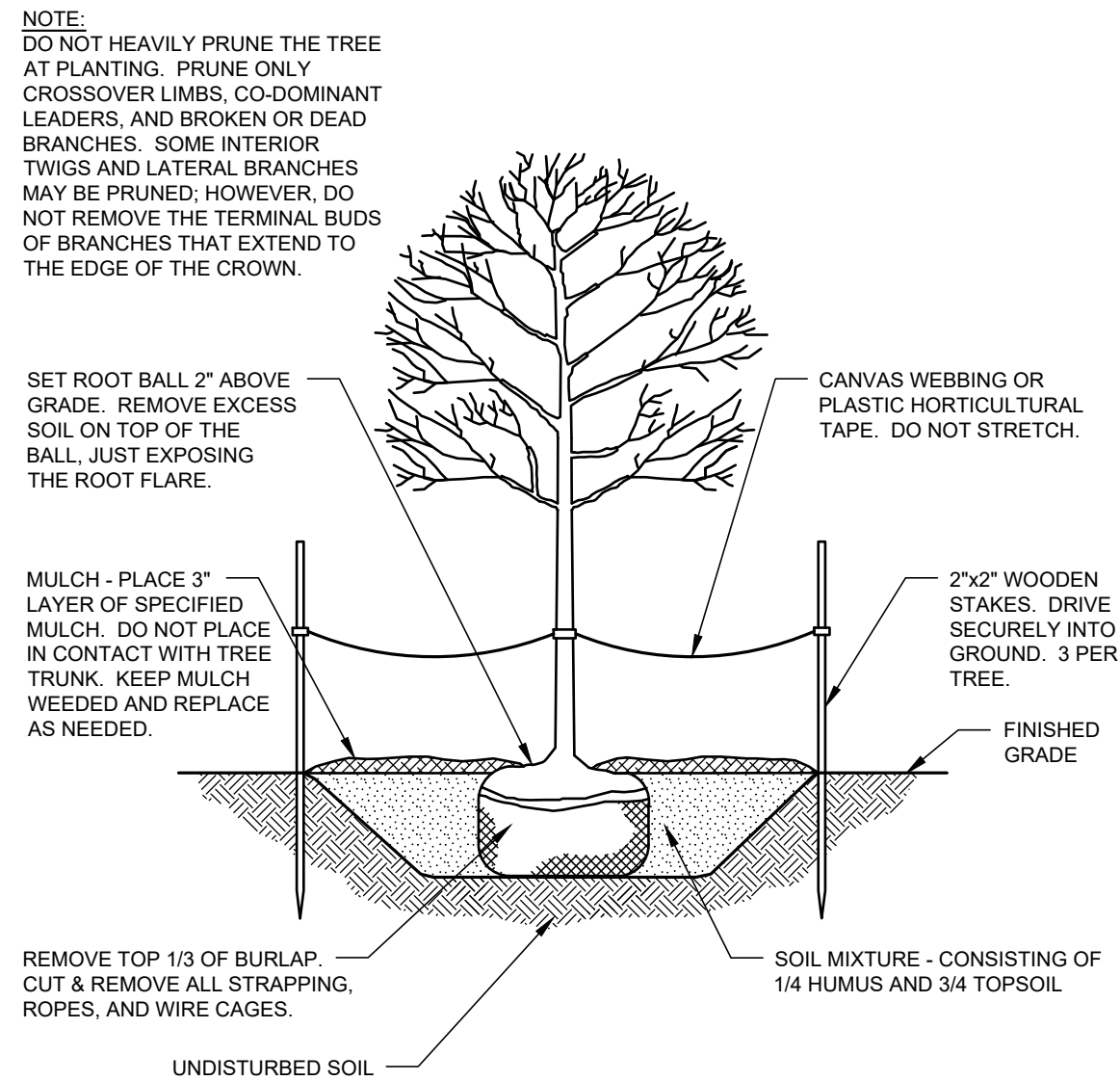
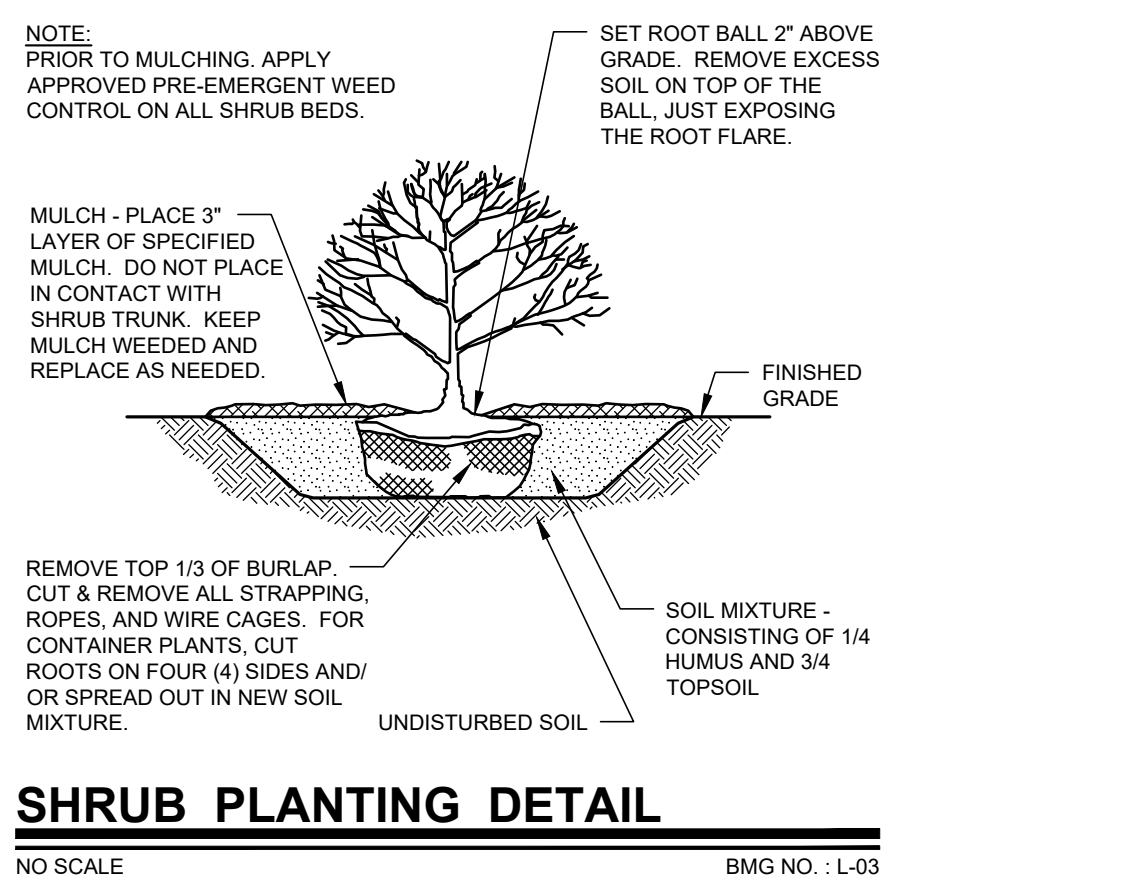
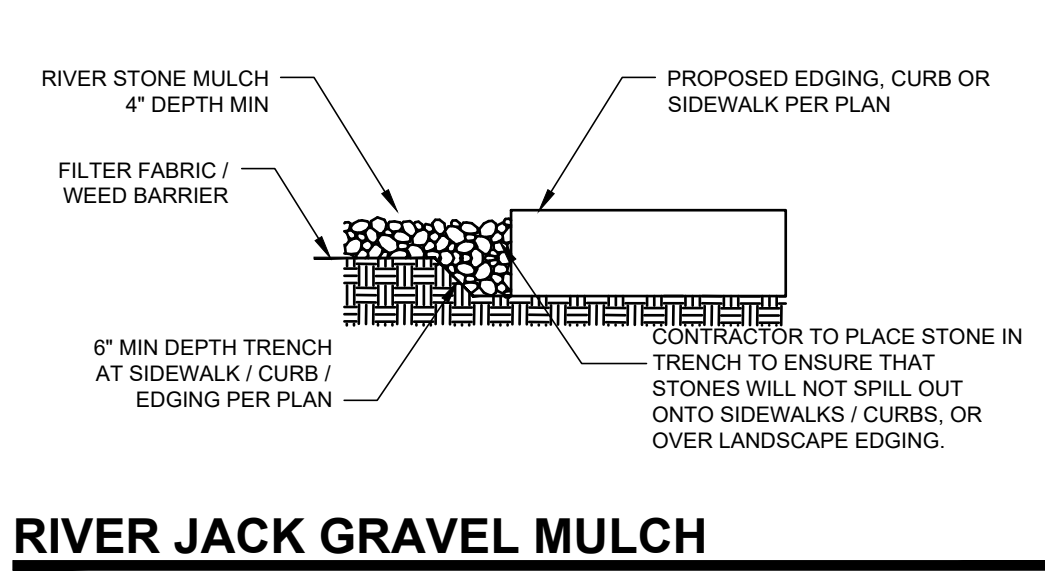
RFI #	Date Received	Category	Drawing #	Contractor	Question	Response	Addendum No.
1	7/14/2023	Plumbing	P300		FD-1 FD-2 - Specify trap primer, however basis of design does not indicate trap primer, we intend to price trap guards		
2	7/18/2023	Flooring		Connolly	After looking at the drawings, finish schedule shows tile on all walls of the bathrooms and the detail just shows the wet wall. Which is correct? If just wet walls, would the other walls receive ceramic base?		
3	7/18/2023	Flooring		Connolly	There is a BK2 shown on the details for thin brick but no selection, is there a selection?		
4	7/18/2023	Flooring		Connolly	Is there a selection for the type of transition from carpet tile to concrete?		
5	7/19/2023	Concrete		JT Hoover	I received the update that specs have been uploaded. There was nothing for cast in place concrete so we will proceed with the notes on the structural plans.	Will be sent out with Add No 1	1
6	7/19/2023	Concrete		JT Hoover	JT Hoover is ok to bid poured walls in place of the CMU block shown at the foundations?		
7	7/19/2023	Concrete		JT Hoover	Would EDIS be amenable to a full height wall (to top of slab) with 4" wide slab ledge in place off the turned down edge as shown? (see my quick drawing below). Otherwise we would omit the insulation not wanting that 8" above the wall to be free and susceptible to damage by others. We would only want to include the insulation in our scope from <u>top of footing to top of wall</u> .		
8	7/19/2023	Concrete		JT Hoover	Can you figure pad footings with piers in place of the sonotubes? There are areas where these are required quite close to the perimeter foundation. With our aluminum form system, the would have to be incorporated together.		
9	7/19/2023	Concrete		JT Hoover	Lastly at the wall sections with the grouted cavity and brick veneer. We can offer a thicker wall base at these locations and form a brick ledge on the exterior side of the wall. Otherwise we would have to omit everything outside of our insulation.		
10	7/20/2023	IT		Ctrl-Alt-Repair	On the IT side are we providing the wireless access points (WAP's) / managed switches / rack etc?? or do they provide that and we just run the cabling?		
11	7/20/2023	Metal Framing & Drywall		Brandywine Contractors	Is a bid bond required?	Bid Bond not required	2
12	7/20/2023	Metal Framing & Drywall		Brandywine Contractors	Bid form lists City of Harrington Contractors License as an attachment, Is this a requirement for bid submission or only if awarded?	Only if awarded	2
13	7/20/2023	Metal Framing & Drywall		Brandywine Contractors	Will a project schedule be published?	Yes, project schedule will be published as part of Addendum 2	2
14	7/21/2023	Caulking		J&B Caulkers	Contract B-15 owns caulking of the bottom of the interior aluminum frames to vinyl flooring. Which contract owns caulking the remaining three sides of the interior aluminum frames?	Caulking of the remaining three sides of the interior aluminum frames are under the glass and glazing contract.	2
15	7/21/2023	Caulking		J&B Caulkers	Will caulking at the bottom of the hm frames to vinyl flooring be required and if so by which contract?	There are no vinyl floors, only sealed concrete and polished concrete floors. Contractor will be responsible for HM frames at these locations. Scopes of work will be updated to reflect this. This will be by the caulking contract.	2
16	7/21/2023	Flooring		Creative Flooring	Specific scope of work for contract B-14 – Flooring shows sealed concrete by others, but polished concrete is included. Can polished concrete be separated out?	Polished concrete will be included as part of the flooring contract, however will be included as an Owner's Allowance. The dollar value to be decided and included as a future addendum.	2

17	7/21/2023	Flooring		Creative Flooring	The sample insurance certificate shows Pollution Liability and Professional Liability requirements. We do not carry these coverages as they typically do not pertain to floor covering installation. Can this requirement be waived for this contract?	EDiS has provided a matrix as part of Addendum 2 for which contracts will require pollution insurance and professional liability insurance.	2
18	7/21/2023	Steel		RC Fab	Looking at the scope items for the B-4 Structural Steel & Miscellaneous Metals contract.... Can you confirm that the Scope Item #17, Provide metal-web wood joists, is correct?	See area between column lines A and D and 3 and 10 where it specifies Red-H Wood Truss.	2
19	7/24/2023	Mechanical		Diamond Mechanical	For duct work on this job are you looking for snaplock or spiral duct?		
20	7/18/2023	General		Enterprise Masonry	Do prevailing wage rates apply, or is this funded by the Town of Harrington? ITB says "where prevailing wages apply."	This project is prevailing wage.	2
21	7/20/2023	Electrical		Nickle	Specifications state that all circuits should be run in conduit. Is armored cable acceptable in concealed areas?		
22	7/20/2023	Electrical	E-300	Nickle	Note F on Drawing E-300 states that Fire Alarm wiring must be FA MC in concealed areas. Is FPLP acceptable in concealed areas?		
23	7/20/2023	Electrical		Nickle	It appears that the Mechanical Contractor provides the Ceiling Fans (HVLS-1, HVLS-2, HVLS-3, and HVLS-4). Does the Electrical Contractor furnish and install fan controls or install only? Please provide part number or details on control.		
24	7/20/2023	Electrical		Nickle	Who is to furnish cable tray?	Structured cabling contractor is furnishing and installing cable tray.	2
25	7/20/2023	Electrical		Nickle	No provisions for a future site sign are shown on the panel schedules, site drawing, or IT drawings. Please provide clarification.		
26	7/20/2023	Electrical		Nickle	Scope item 35 refers to millwork and casework lighting. The Fry Reglet part number (DRMZ) on the Architectural details appears to be the molding/casework itself. Are we to furnish and install Fry Reglet lighting? Install only? Please provide part number and clarification.		
27	7/18/2023	Masonry		Enterprise Masonry	do prevailing wage rates apply, or is this funded by the Town of Harrington? ITB says "where prevailing wages apply."	Prevailing wage rates do apply.	2
28	7/24/2023	Fire Protection		Oliver	It states to provide a full fire alarm system, but there are no specs given what kind of system they want or any other specific details. Please provide		
29	7/24/2023	Electrical		Nickle	Does Bid Pack A or Bid Pack B own the underground conduit the primary electrical service, site signage, and telecom? The Civil drawings from Bid Pack A show these items "for reference only", but the Electrical Bid Pack B drawings do not show them as our responsibility.	Bid Package B under the electrical contract.	2
30	7/24/2023	Electrical		Nickle	Please provide specifications for the fire alarm system.		
31	7/24/2023	Steel		R.C. Fabricators (RedBuilt)	Please provide Net thickness of the decking on the trusses		
32	7/24/2023	Steel		R.C. Fabricators (RedBuilt)	Please provide Attachment of the C5 channel to our trusses. RedBuilt has details in our manual (attached), but the detail on sheet S202 will not work as the 5/8" is too large to drill in our truss chords		
33	7/24/2023	Steel		R.C. Fabricators (RedBuilt)	Please provide live and dead loads along with any mech loading that would be in addition.		
34	7/24/2023	Metal Framing & Drywall		Brandywine Contractors	B-5 metal framing scope mentions expansion control. I do not see any expansion joint within the interior of the building that would require expansion joint covers. Please confirm.		
35	7/24/2023			Brandywine Contractors	Who is responsible for section 113013 residential appliances as I do not see this listed in anyone's package?	Furnishing of residential appliances will be direct purchased by EDiS.	2
37	7/24/2023	Specialties		Brandywine Contractors	B-16 Specialties is to furnish specified items to B-6 Carpentry for installation however nothing is mentioned for 101463 Electronic Message System. Should we assume B-16 Specialties would supply and install this item?	EDiS to answer	2
39	7/24/2023	Carpentry		Brandywine Contractors	B-6 Carpentry scope of work has B-6 to install and B-16 to furnish projection screens however there are no specifications on projection screens		
40	7/24/2023	Carpentry		Brandywine Contractors	B-6 Carpentry scope of work mentions wall and corner guards however we see neither on the project and there are no specifications for this material		

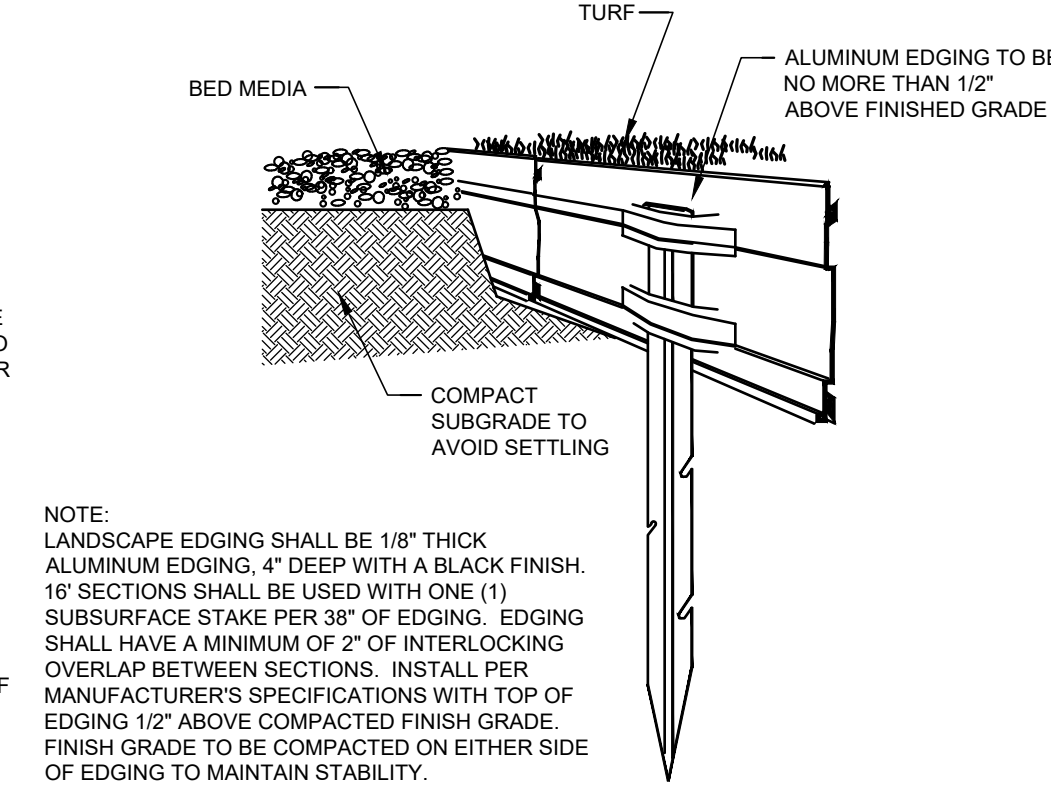


41	7/24/2023			Brandywine Contractors	Is fencing type 1 & 1A to be a custom built application or what is the architects intent? Please clarify what is meant by 1 x 6 vertically engineered wood.		
42	7/24/2023	Steel		RC Fabricators	Please confirm that Contract # B-4 will provide the steel for the operable partition in base bid, even through it is and add alternate for Contract #B-17.		
43	7/24/2023	Steel		RC Fabricators	Please provide Kicker connection and loading for angle kicker at each hanger for operable partition, Detail 4/S303.		
44	7/24/2023	Steel		RC Fabricators	Please provide additional details for 1" rod called out on S103.		
45	7/24/2023	Steel		RC Fabricators	Can design team provide a drawing locating Exposed Structural steel		
46	7/24/2023	Steel		RC Fabricators	Please provide structural details for roof screen.		
46.1	7/24/2023	Steel		RC Fabricators	Please confirm which contract the roof screen is in.		
47	7/25/2023	Masonry		D. Gingerich Concrete & Masonry Inc.	Would Hohmann & Barnard X-Seal anchors be acceptable in lieu of the Hohmann & Barnard HB-213?		
48	7/25/2023	Concrete		Cavan	Checking on the scope of work Contract NO B-2 – Concrete, note #2. Layout. Will there be any control points provided or do we have to provide those ourselves?	"The Construction Manager will establish a bench mark and base line control from which structures and grades shall be laid out by Subcontractors as designated in this section. The total extent of this layout is shown on the site drawings. One bench elevation shall be provided."	2
49	7/25/2023	Flooring		Creative Flooring	Please clarify correct product for CPT2 – Finish Legend shows Color Anchor, however specifications state Ruffian I		
50	7/25/2023	Roofing		Quality Exteriors Inc.	Please submit the attached Fabral Power Seam data for a Metal Roof Panel substitution request. <a href="https://www.dropbox.com/scl/fi/0wndfg2hmjle2ad012npr/Quality-Exteriors-Substitution-RFI.pdf?rlkey=jd1tyaj9mxiecigv155q3pn5s&amp;dl=0">https://www.dropbox.com/scl/fi/0wndfg2hmjle2ad012npr/Quality-Exteriors-Substitution-RFI.pdf?rlkey=jd1tyaj9mxiecigv155q3pn5s&amp;dl=0</a>		





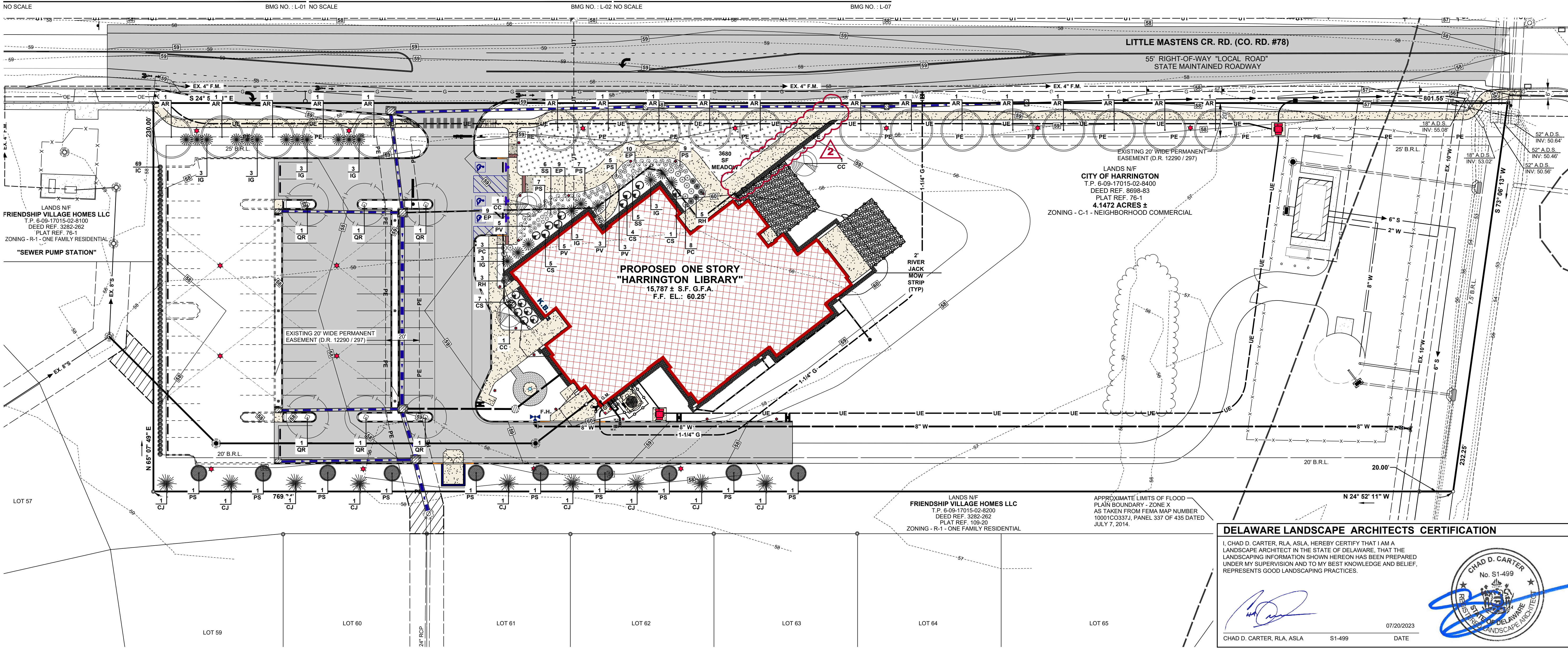
PLANT LIST						
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
CANOPY TREES						
AR	18	ACER RUBRUM 'SUNSET RED'	RED MAPLE	3" CAL	B&B	FHV
QR	6	QUERCUS RUBRA	NORTHERN RED OAK	2 1/2" CAL	B&B	FHV
UNDERSTORY TREES						
CC	3	CERCIS CANADENSIS	EASTERN REDBUD	1 1/2" CAL	B&B	FHV
EVERGREEN TREES						
CJ	9	CRYPTOMERIA JAPONICA 'YOSHINO'	JAPANESE CEDAR	6' HGT	B&B	
PS	10	PINUS STROBUS	EASTERN WHITE PINE	6' HGT	B&B	
SHRUBS						
CS	17	CORNUS SERICEA	RED TWIG DOGWOOD	24-36"	CONT.	
EP	28	ERAGROSTIS PECTINACEA	PURPLE LOVEGRASS	#3	CONT.	
IC	69	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE HOLLY	4' HGT.	CONT.	2 1/2" O.C.
IG	21	ILEX GLABRA 'SHAMROCK'	SHAMROCK HOLLY	24-36"	CONT.	
PV	21	PANICUM VIRGATUM 'HEAVY METAL'	SWITCH GRASS	#3	CONT.	
PS	28	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	#3	CONT.	
SS	12	SCHIZACHYRIUM SCOPARIUM	LITTLE BLUESTEM	#3	CONT.	
PERENNIALS						
PC	11	ECHINACEA PURPUREA	PURPLE CONEFLOWER	#1	CONT.	
RH	8	RUDBECKIA HIRTA	BLACK EYED SUSAN	#1	CONT.	
TOTAL: 46 TREES, 196 SHRUBS, 19 PERENNIALS						
MEADOW SEED MIX: ERNST SEED MIX ERNMX-177 - EASTERN ECOTYPE NATIVE GRASS MIX. SEED AT RATE OF 10-15 LB PER ACRE WITH 30 LBS/ACRE OF A COVER CROP. FOR A COVER CROP USE EITHER GRAIN OATS (1 JAN TO 31 JUL) OR GRAIN RYE (1 AUG TO 31 DEC).						



LANDSCAPE REQUIREMENTS	
1. STREET TREE REQUIREMENT:	1 DECIDUOUS TREE PER 40 FT. ALONG THE STREET 801' OF LOT FRONTAGE - 35' ENTRANCE WIDTH - 62' PUMP STATION = 684' 684' / 40' = 17.1 = 18 SHADE TREES
2. TOTAL SITE AREA:	4.1472 ACRES (180,652.03 SQFT)
4. EXISTING TREES TO BE RETAINED:	0 TREES RETAINED
5. PROPOSED TREE:	46 TREES
6. TOTAL TREES:	46 TREES
7. PARKING SCREEN REQUIREMENT:	EVERGREEN HEDGE SHALL BE PLANTED 2 1/2' O.C. WHERE ADJACENT TO RESIDENTIAL USE. SCREENING PROVIDED: 69 EVERGREEN SHRUBS 4' HEIGHT

- GENERAL LANDSCAPE NOTES :**
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK."
  - EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
  - ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 7'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE DETAIL SHOWN.
  - PLANT MATERIALS DELIVERED TO THE SITE IN UNCOVERED TRUCKS WILL BE REJECTED.
  - UNACCEPTABLE PLANT MATERIALS: MATERIALS WHICH HAVE DAMAGED OR CROOKED LEADERS, DEFORMED GROWTH HABIT, ABRASIONS OF THE BARK, SUN SCALD, WINDBURN, DISFIGURING NOT COMPLETELY CALLEDUS WILL BE REJECTED. IN ADDITION, TREES HAVING THEIR CENTRAL LEADERS HEADED BACK WILL ALSO BE REJECTED. PLANTS WITH LOOSE OR CRACKED ROOT BALL OR CONTAINERS WILL BE REJECTED.
  - MULCH FOR PLANTING BEDS SHALL BE SHREDDED HARDWOOD BARK MULCH UNLESS OTHERWISE SPECIFIED ON THE PLANS AND SHALL HAVE NO LEAVES, YOUNG GREEN GROWTH, BRANCHES, TWIGS, GREATER IN DIAMETER OF 1/2", WEEDS, SHAVINGS OR FOREIGN MATERIAL SUCH AS STONES, ETC. SHALL BE MIXED WITH THE MULCH. ALL SHRUB MASSES SHALL BE PLANTED IN CONTINUOUS MULCHED BEDS WITH A LIGHTLY COMPACTED DEPTH OF THREE (3) INCHES. ALL CONTAINER PLANTS ARE TO HAVE ROOTS CUT ON FOUR SIDES AND/ OR SPREAD OUT IN NEW SOIL MIXTURE.
  - ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN AND NOTES.)
  - LANDSCAPE BEDS NOT DEFINED BY CURBS, SIDEWALKS, WALLS OR OTHER STRUCTURES SHALL BE ENCLOSED BY ALUMINUM EDGING UNLESS OTHERWISE INDICATED.
  - AREAS DISTURBED BY LANDSCAPE OPERATIONS SHALL BE GRADED TO MATCH EXISTING TOPSOIL AND SEED OR SOD AS REQUIRED.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
  - NO PLANT, EXCEPT GROUNDCOVERS, SHALL BE WITHIN THREE (3) FEET FROM SIDEWALKS.
  - NO TREE SHALL BE PLANTED CLOSER THAN TEN (10) FEET FROM ANY STRUCTURE OR BUILDING.
  - NO TREE SHALL BE PLANTED WITHIN TEN (10) FEET OF UNDERGROUND UTILITIES OR FIRE HYDRANTS.
  - ONLY TREES THAT REACH A HEIGHT AND SIZE AT MATURITY OF SMALL TO MEDIUM SHALL BE PLANTED UNDER POWER LINES.
  - THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON, UNLESS THE OWNER AGREES TO MAINTAIN AND WATER THEM.
  - TREES TO REMAIN ON-SITE SHALL BE PROTECTED WITH SNOW FENCE DURING CONSTRUCTION (SEE DETAIL), SNOW FENCING TO BE MAINTAINED DURING CONSTRUCTION BY CONTRACTOR.
  - THE PLANTING PLAN SHALL TAKE PRECEDENCE OVER THE PLANT SCHEDULE SHOULD ANY PLANT QUANTITY DISCREPANCIES OCCUR.
  - NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER AND/ OR THE LANDSCAPE ARCHITECT.
  - ALL NEW TREES SHALL BE GUARANTEED TO SURVIVE FOR ONE FULL YEAR AFTER INSTALLATION (FULL COST). ALL STAKES AND GUYS SHALL BE REMOVED FROM TREES AND SITE AS EARLY AS THREE (3) MONTHS, BUT NO LONGER THAN ONE (1) YEAR AFTER PLANTING.

**DECIDUOUS TREE PLANTING DETAIL** **EVERGREEN TREE PLANTING DETAIL** **LANDSCAPE BED EDGING DETAIL**



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**PROJECT TITLE**  
**HARRINGTON LIBRARY**  
**CATEGORY A SITE PLAN**

**101 LITTLE MASTENS CORNER RD**  
**CITY OF HARRINGTON**  
**MISPILLION HUNDRED**  
**KENT COUNTY, DE**

**SHEET TITLE**  
**LANDSCAPE PLAN**

**SCALE: 1" = 30'**

**ISSUE BLOCK**

NO.	DATE	DESCRIPTION
4	7-20-23	ADDENDUM NO. 2
3	5-30-23	REVISED PER AGENCY REVIEW
2	5-23-23	REVISED PER AGENCY REVIEW
1	5-9-23	REVISED PER AGENCY REVIEW

**PROJECT NO.:** 2013138.06  
**DATE:** 05/22/2023  
**SCALE:** 1" = 30'  
**DRAWN BY:** A.J.D. / PROJ. MGR.: J.S.F.  
**SHEET**  
**L-001**  
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